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113 REVERE RD

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RETURN TO ARB

REVIEW COPY

11-7-16 mtg

11/03/2016

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REVIEW TO ARCH

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11-7-16 mtg



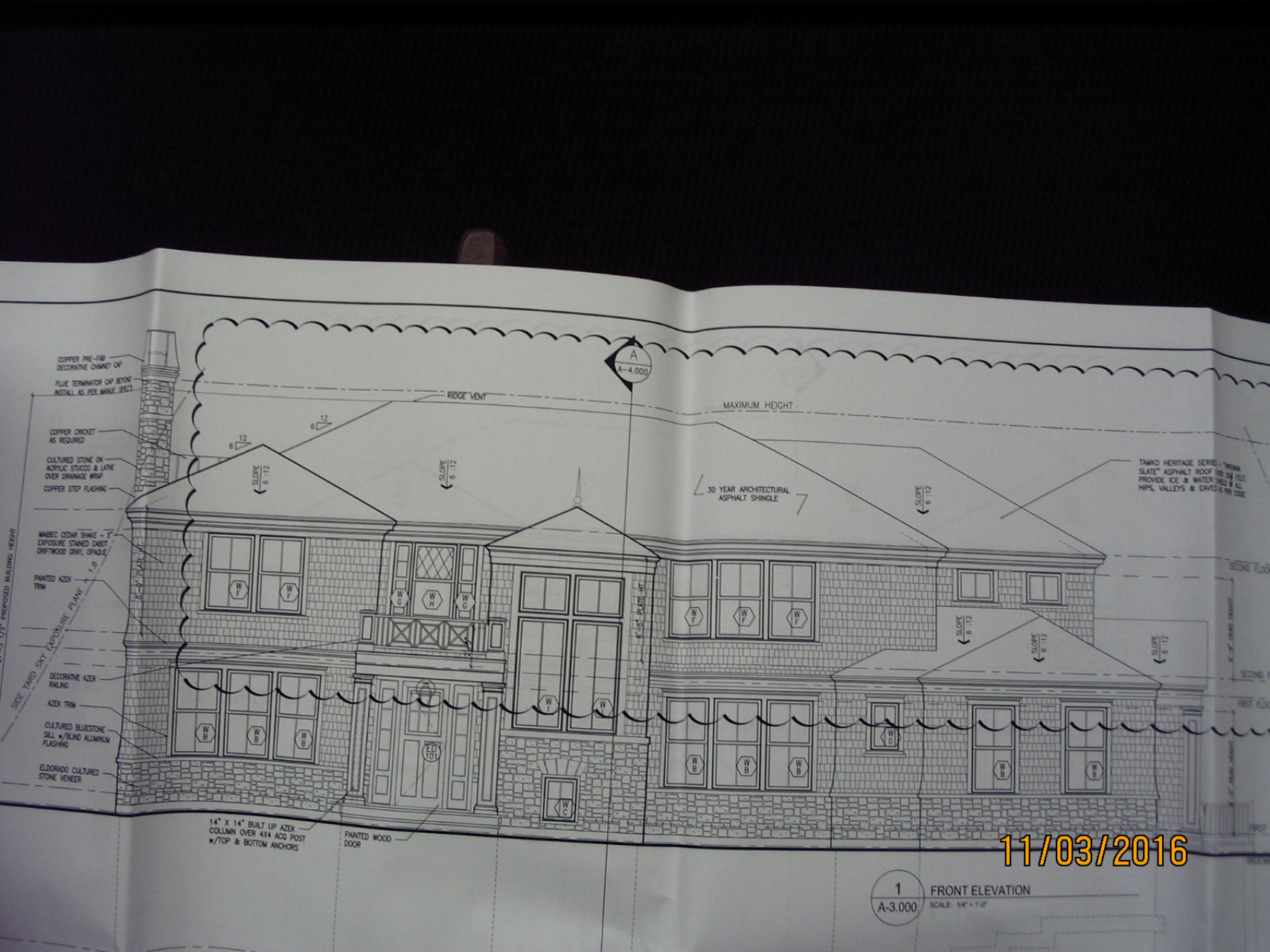
front elevation

A-1,000  
 000, HARRISON DESIGN  
 11/03/2016  
 OCT 14 2016

11/03/2016

east hills, N.C.  
 east hills  
 harrison design, custom





11/03/2016

1 FRONT ELEVATION  
A-3.000 SCALE: 1/4" = 1'-0"



**CONSTRUCTION NOTES**

2x10 AND 2x12 WOOD JOISTS AND BEAMS SHALL BE #2 SOUTHERN BETTER. 2x4 WOOD STUD POSTS SHALL BE #2 S.P.F. OR BETTER, F. OR BETTER.

COLAM OR PARALAM AS MANUFACTURED BY TRUS-JOIST MACMILLAN, ACHIEVE THE THICKNESS SPECIFIED.

AS NUMBER OF PILES OF BEAM, (2) MINIMUM, UNLESS SPECIFIED TO OPENING DOWN TO FOUNDATION, WITH SOLID BLOCKING AT WALLS, AT CORNERS AT EACH SIDE OF EACH OPENING AND AT

OTTOM. BOLT 3 AND 4 PLY MICROLAM WITH 2 ROWS ARE NOT PERMITTED IN ANY PLY BETWEEN SUPPORTS.

SLABS SHALL BE CONSIDERED LOAD BEARING FOR THEIR FULL

WHEN EXTERIOR WALLS SPAN TWO STORIES WITHOUT TWO STORIES, STUDS SHALL NOT BE SPLICED AT "PLATE HEIGHT".

WIGERS.

CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED #2 LYOWOOD, OR 7/16" OSB, NAIL ALL EDGES WITH 8d OR 10d NAILS.

FLOOR TO 2ND FLOOR - INTERIOR - 2x6 @ 16" O.C. FLOOR TO ABOVE - 2x6 @ 16" O.C.

BEAMS (BEAMS BEAR ON PLATES) AND 5/8"x3.5"x10" BASE

**113 REVERE ROAD  
ROSOLYN HEIGHTS, NEW YORK 11577**



DRAWING INDEX

LOCATED AT CEILING HEIGHTS w/ KING & JACKING WHERE SPANS ARE OVER 8'.

LOVE FLOORS, UNLESS NOTED OTHERWISE BY ALL ARCHITECT.

CABINETS.

REPORT ANY DISCREPANCIES TO ARCHITECT IF IT IS NOT SHOWN ON THE PLANS AS:

JACK STUDS EACH END, U.M.O., WHEN DPI

THOSE DESIGNATED AS COMMON FRAMING, PERFORMED BY A LICENSED STRUCTURAL ENGINEER. DRAWINGS SHALL BE SUBMITTED TO STRUCTURAL ENGINEER. DRAWINGS SHALL BE SEALED BY THE DESIGN ENGINEER. RECESSED STONE RAVERS, WHERE SO INDICATED, WITH DIAGONAL KICKERS AT END SPA

CREATER.

UNDER WALLS ABOVE WITH HANDERS WHEN 8" O.C. AT PANEL EDGES, 12" O.C. AT

VALLEY MEMBERS AND POSTS UP U.M.O. AS OF

STUD COLUMNS IN WALLS BENEATH POSTS UP

THAT CONFORM TO ASTM C90, WITH A MINIMUM MASONRY, 7"m, IS DESIGNED AS 1500 PSI OR STRUCTURAL MASONRY TYPE N MORTAR.

DATE: SIZE OF 3/8" WHEN COMPRESSIVE IS EXCEEDED 40% GREAT ALL BOLLS SOLD BELOW SPECIFICATIONS AND INDUSTRY STANDARDS.

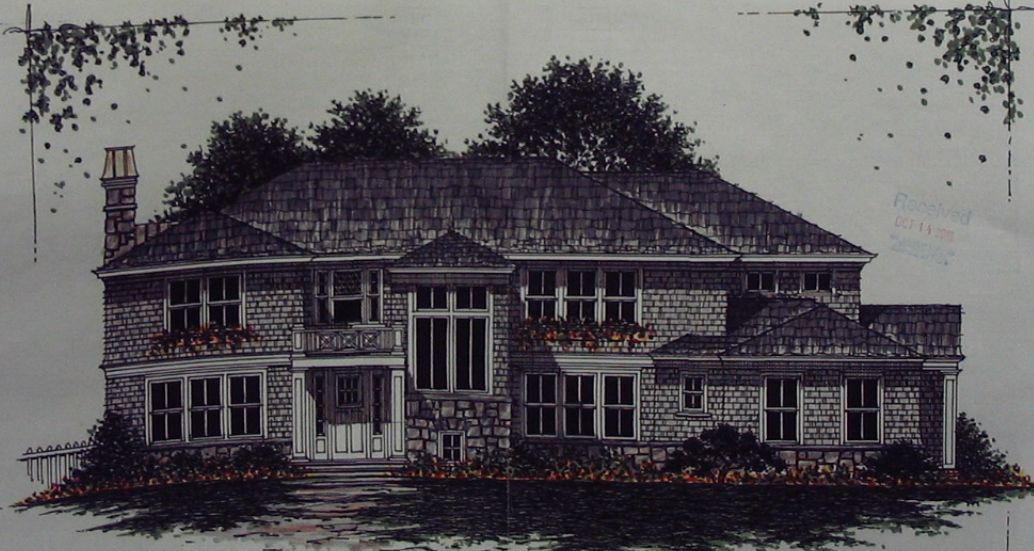
MENT AT 16" O.C. FULL HEIGHT OF WALL LAP &

REINFORCING SHALL BE EMBEDDED INTO FOOTING

ANY DIA. LAP SPLICES WITH SOLID GROUDED

REBAR COURSES ABOVE AS

USED, LABELED AND INSTALLED IN PRESSURE BUILDINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE LIGHT IS EXTENDING



front elevation

east hills, llc.  
east hills  
harrison design, roslyn, ny

**GENERAL NOTES**

- SCALE:** 1/4" = 1'-0" TOTAL DIMENSIONS
- LOADS:** All construction shall comply with national, state, and local building codes. Reference shall be made to the International Building Code 2010 edition, 2001 high wind edition, and the New York State Construction Manual (NYCSM), the 2010 Building Code, Underwriters Laboratories, Inc., National Electrical Code NEC 2011 edition, and all applicable codes.
- LAB SET:** All laboratory test. Contractor shall visit job site and notify Designer of any field conditions not included in construction documents which require corrective action.
- CONCRETE:** Contractor shall field verify all dimensions and conditions at site and notify Designer of any discrepancies before ordering materials, beginning fabrication, or starting construction.
- RETAINING WALLS:** All retaining wall attachments shall be fully concealed from view.
- BLOCKING:** Contractor shall provide and locate fire retardant wood blocking in partitions where required to support heavy components (i.e. standards, shelves, roof rail, track systems, energy chutes) as indicated in drawings.
- FIRE EXTINGUISHERS:** Contractor shall install (1) fire extinguisher for every 75 feet of total distance, as indicated on drawings, and as further required by governing codes.
- INSULATION:** Insulating materials when installed in buildings of any type construction shall comply with IRC 718.1 and 718.3. Insulating material, where concealed as installed in 2x6 and smaller - developed index of not more than 450 (IRC 718.2) insulating material, when exposed or installed in buildings of any type of construction, shall have a flame spread index of not more than 450 (IRC 718.3).

**PROJECT INFORMATION**

**PROJECT:**  
# 2-STORY SINGLE FAMILY RESIDENCE  
ATTACHED GARAGE & BASEMENT

**NEW APPLICANT:**  
# Hills LLC  
Ron Abramson  
Patricia Lane  
Ayn Heights, NY 11577  
(8) 732-5579  
(7) danny1254@gmail.com

**TELE ADDRESS:**  
13 WEDGE RD  
ROSOLYN HEIGHTS, NEW YORK 11577

**RECORDING:**  
PLOT: 7 BLK. 118 LOTS# 513

**ANNUAL USE:**  
# RESIDENCE DISTRICT  
MOLE FAMILY DISTRICT

**TERRACE:**  
524.7 (29 ACRES)

TRACKS	MINIMUM	PROPOSED
NT YARD	20'	25.0'
YARD	10'	20.0'
YARD	10'	21.0'
SEPARATE SIDE YARDS	5'	47.3'

**LONG HEIGHT:**  
MAXIMUM HEIGHT = 28'-0"  
PROPOSED BUILDING HEIGHT = 25'-0"

**COVERAGE:**  
MAXIMUM LOT COVERAGE = 25%  
LOT AREA x .25 = 12,524.7 x .25 = 3131.2 s.f.

**PROPOSED LOT COVERAGE:**  
BUILDING FOOTPRINT = 2,508.7 s.f.  
PATIO = 257.8 s.f.  
TOTAL LOT COVERAGE = 3,066.5 s.f. (24.47%)

**SIZABLE AREA:**  
MAXIMUM FLOOR AREA = 30% OR 4,500.0 s.f. MAX.  
LOT AREA x .30 = 12,524.7 x .30 = 4,508.9 s.f.

**MINIATURE MAX. PERMITTED = 4,500.0 s.f.**

**PROPOSED FLOOR AREA:**  
FIRST FLOOR = 2,461.8 s.f.  
SECOND FLOOR = 2,437.2 s.f.  
TOTAL PROPOSED FLOOR AREA = 4,499.0 s.f.

11/03/2016



113 REVERE ROAD  
ROSOLYN HEIGHTS, NY 11577  
PHONE 845-235-2282  
WWW.HARRISONDESIGN.COM



EAST HILLS LLC  
113 REVERE ROAD  
ROSOLYN HEIGHTS, NY 11577



12,524.7 (.29 ACRES)

SETBACKS:	MINIMUM	PROPOSED
FRONT YARD	30'	30.2'
SIDE YARD	10'	11.2'
SIDE YARD	10'	20.6'
AGGREGATE SIDE YARDS	30'	31.8'
REAR YARD	25'	47.3'

BUILDING HEIGHT:

MAXIMUM HEIGHT = 28'-0"

PROPOSED BUILDING HEIGHT = 26'-6"

LOT COVERAGE:

MAXIMUM LOT COVERAGE = 25%  
LOT AREA x .25 = 12,524.7 x .25 = 3131.2 s.f.

PROPOSED LOT COVERAGE

BUILDING FOOTPRINT = 2,506.7 s.f.  
PATIO = 557.9 s.f.  
TOTAL LOT COVERAGE = 3,064.6 s.f. (24.47%)

FLOOR AREA:

MAXIMUM FLOOR AREA = 36% OR 4,500.0 s.f. MAX.  
LOT AREA x .36 = 12,524.7 x .36 = 4,508.9 s.f.

THEREFORE MAX. PERMITTED = 4,500.0 s.f.

PROPOSED FLOOR AREA

FIRST FLOOR = 2,461.8 s.f.  
SECOND FLOOR = 2,037.3 s.f.  
TOTAL PROPOSED FLOOR AREA = 4,499.1 s.f.

SEE SHEET A-1.101 FOR FLOOR AREA DIAGRAM

3

CIVIL

Ladykas & Panetta  
S. & P.E., P.C.

3 Spring Street  
Wester Bay, NY

Project Contact: Chuck Panetta  
(6) 922-3031  
@panettasurveying.com

ION MAP

11/03/2016

stamps



issue

2

FLOOR AREA REDUCTION  
9/6/2016

3

ARB REVISIONS  
10/13/2016

date

7/7/2016

scale

drawn



PATIO = 2,506.7 s.f.  
TOTAL LOT COVERAGE = 557.9 s.f.  
= 3,064.6 s.f. (24.47%)

# LOCATION MAP



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SEE SHEET A-1.101 FOR FLOOR AREA DIAGRAMS



Received  
OCT 14 2016  
Incorporated in the City of East Hills, NY 11576



issue  
2 FLOOR AREA REDUCTION 9/6/2016  
3 ARB REVISIONS 10/13/2016

date 7/7/2016

scale

drawn NCF checked JJA

project no. 3542.NY

title INDEX, ZONING, & COVER SHEET

sheet number A-1.000

11/03/2016



D/VISUAL/LIGHTING

AL SYSTEMS

OWNER/APPLICANT:  
East Hills LLC  
Nathan Abrishamian  
61 Pebble Lane  
Roslyn Heights, NY 11577  
(516) 732-5579  
(517) dannya254@hotmail.com

SITE ADDRESS:  
113 REVERE RD  
ROSLYN HEIGHTS, NEW YORK 11577

SEC/BLK/LOT:  
SECT. 7    BLK. 118    LOT(S) 513

LAND USE ZONE:  
R2 RESIDENCE DISTRICT  
SINGLE FAMILY DWELLING

LOT AREA:  
12,524.7 (.29 ACRES)

<u>SETBACKS:</u>	<u>MINIMUM</u>	<u>PROPOSED</u>
FRONT YARD	30'	30.2'
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FLOOR AREA:

EAST HILLS LLC

113 REVERE ROAD  
ROSLYN HEIGHTS, NY 11577

CIVIL

11/03/2016

Bladykas & Panetta  
L.S. & P.E.

23 Spring  
Oyster Bay

Project Coordinator: Chuck Panetta  
(516) 922-1111  
info@panettaengineering.com

stamps

