

180 REDWOOD DR

ARIS REVIEW COPY

8-8-16



Received

JUL 14 2016

THE COLLEGE OF EAST CAROLINA
100 UNIVERSITY BLVD
Raleigh, NC 27697



ARCHITECTURAL REVIEW BOARD APPLICATION

INCORPORATED VILLAGE OF EAST HILLS ARCHITECTURAL REVIEW BOARD

E NO: _____ FEE _____ RECEIVED BY _____

I, undersigned, as the Homeowner or the Architect for the application known
180 REDWOOD DRIVE · EAST HILLS, NY.
ADDRESS OF SUBJECT PREMISES

I have accomplished the steps listed in the instruction sheet which are essential for consideration of this plan.

on 7 Block 296 Lot 21 Zoning R-1

Applicant Name L. PODLISZCZAK Phone No. _____

Applicant Address: 180 REDWOOD DR. EAST HILLS, NY.

Applicant Name SAME Phone No. _____

Applicant Address: AS ABOVE

Application is hereby made to the Architectural Review Board of the Village of East Hills for the approval of the attached statement and drawings herewith submitted for the construction herein described:

THE PROPOSED WORK IN DETAIL: NEW 2-STORY SINGLE FAMILY RESIDENCE.

EXIST. TOTAL FLOOR AREA OF BLDG. - SQ. FT. EXIST. F.A.R. -

EXIST. TOTAL FLOOR AREA OF ADDITIONS - SQ. FT. % AREA INCREASE -

PROPOSED TOTAL FLOOR AREA OF BLDG. 6003.0 SQ. FT. PROP. F.A.R. .35%

AREA OF LOT 17,246.6 SQ. FT.

EXIST. BLDG AREA AT GRADE - S.F. % EXIST. LOT COVERAGE -

PROPOSED BLDG AREA AT GRADE 3325.4 S.F. % PROP. LOT COVERAGE 19.0%

DIMENSIONS: (AT NARROWEST POINT):

FRONT YARD 41.5' b) REAR YARD 46.4'

LEFT SIDE YARD 25.0' d) SIDE YARD 27.3'

HEIGHT OF EXISTING BLDG - FT. HEIGHT OF BLDG PROPOSED 28.9' FT.

NUMBER OF STORIES EXISTING - NUMBER OF STORIES PROPOSED 2

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JUL 14 2016
Inc. Village of East Hills
209 Harbor Hill Rd
East Hills, NY 11576

6/16/2005

TREE HEALTH

"Caring for Plants from the Soil Up"



July 22, 2016

Village of East Hills
209 Harbor Hill Road
East Hills, NY 11576

RE: Tree Inspection of 180 Redwood Drive East Hills, NY 11576

To whom it may concern:

As per your request, I inspected the trees at 180 Redwood Drive. Many of these trees are covered in vines. These vines can be cut. Not all of these trees need to be removed.

These trees provide an important function in holding the extreme slope with their roots. Please see spreadsheet.

If you have any questions please call me at 516-781-6464

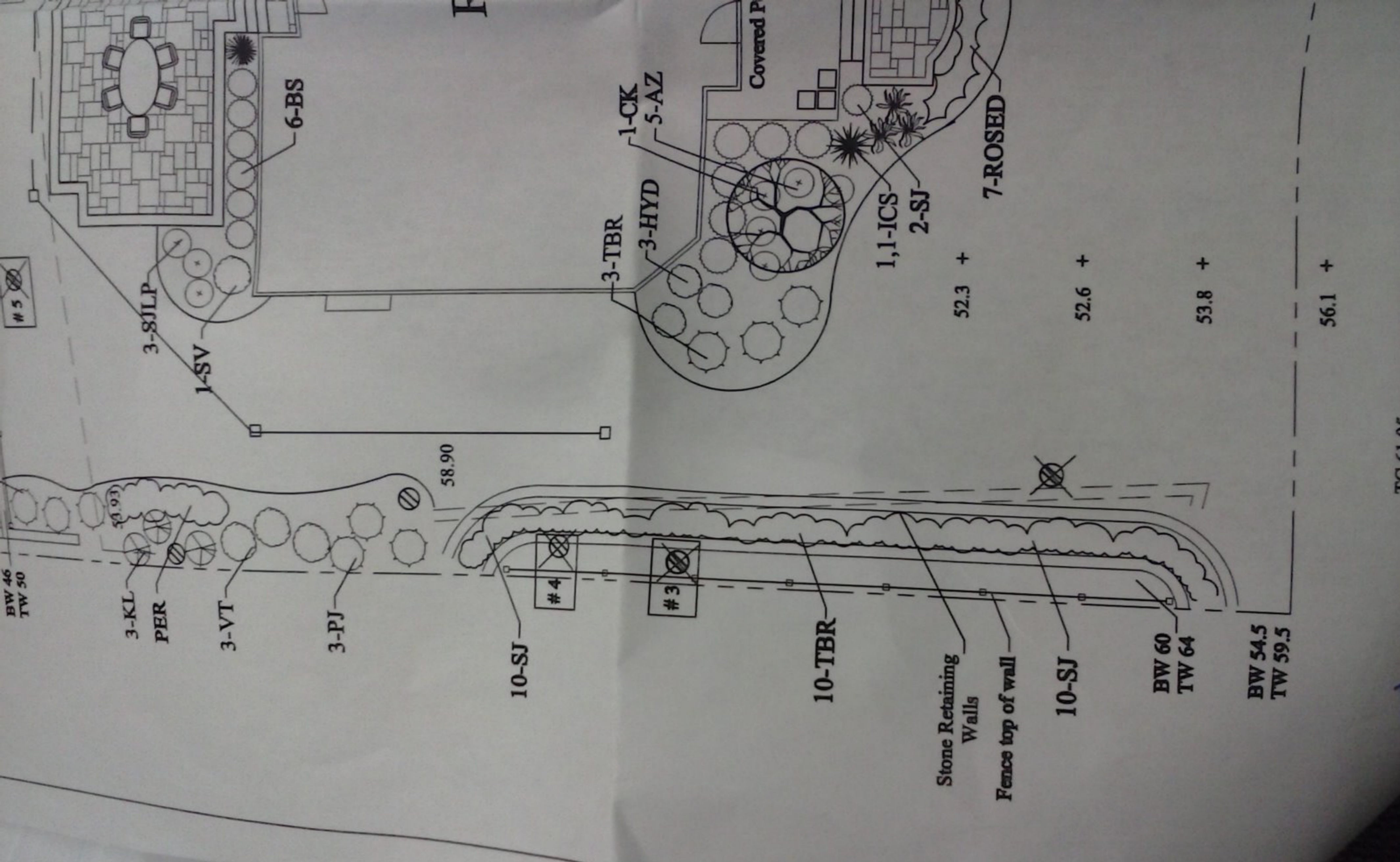
Sincerely,

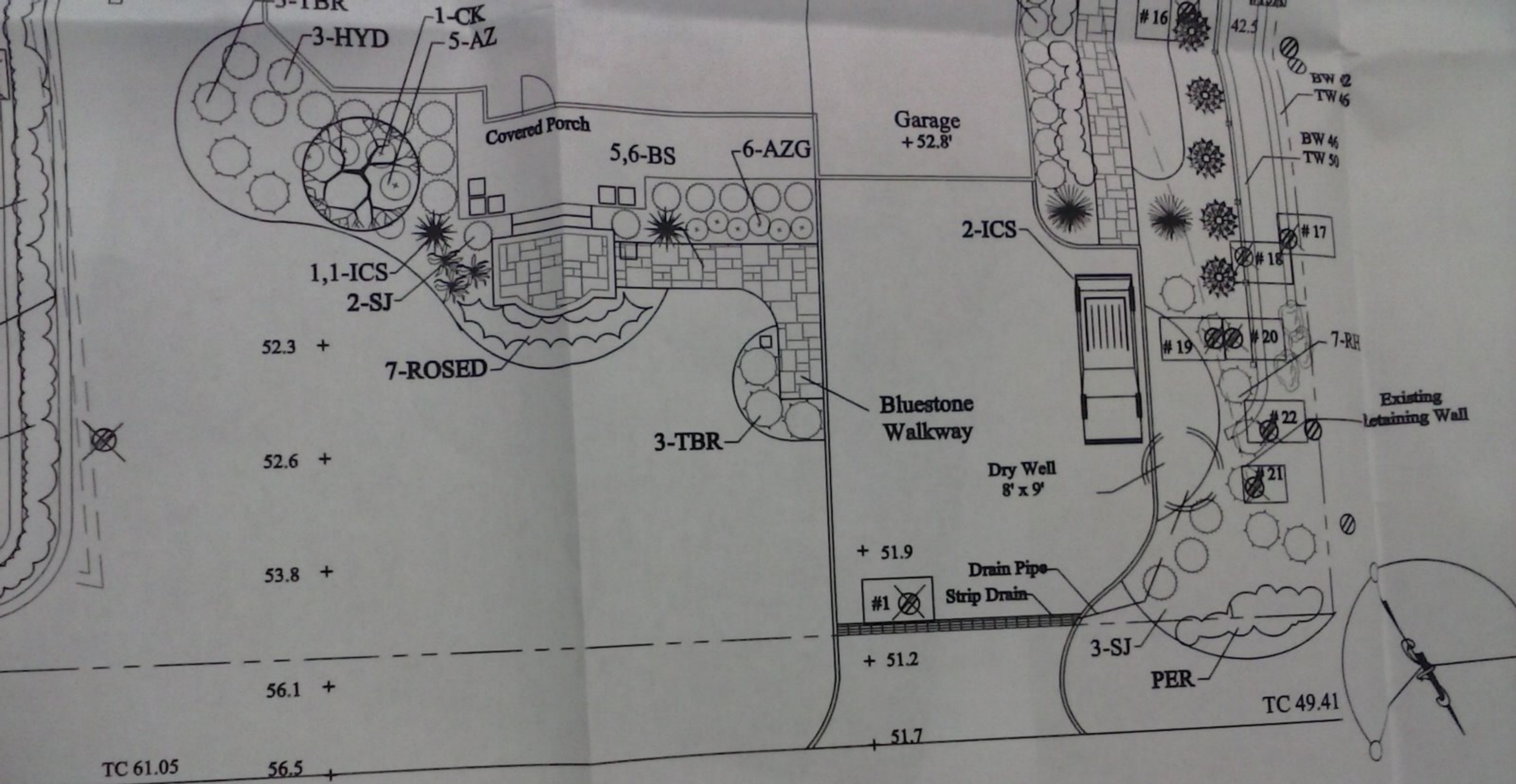
A handwritten signature in black ink, appearing to read "Peter Felix".

Peter Felix
ISA Certified Arborist NY0263

TREES TO BE REMOVED

<u>Number</u>	<u>Species</u>	<u>Size caliper</u>	<u>Reason for Removal</u>	
1	Weeping Cherry	10"	Construction project	Tree is in the way of construction
2	Hemlock	dbl 10",11"	(Neglected vine covered trees)	Hemlock is in poor shape
3	Birch	10"		Birch tree leans toward house and covered in vines
4	Beech	8"		Tree is also a birch covered in vines and leans toward house
5	Oak	16"		Oak tree had previous storm damage and has a phototropic lean, covered in ivy.
6	Maple	dbl 15",16"		Maple tree is fine. Need not to be removed. Holds slope
7	Maple	dbl 12",12"		Maple tree is fine. Holds slope
8	Tree of Heaven	dbl 15",18"		This tree is not an ideal species but tree is in good shape. Needs to have vines cut at base'
9	Locust	24"		This locust is covered with vines but is healthy and its roots help to hold this steep slope vines should be cut but tree can stay
10	Locust	12"		This locust has a lean, is not in great health and should be removed
11	Locust	19"		This locst is straight, healthy and its roots hold the slope
12	Locust	15"		This tree leans has been strangled by vines and has defects. It should be removed
13	Locust	10"		This tree has no top and can be removed
14	Locust	22"		This tree is in poor shape and can be removed
15	Locust	15"		This tree has trunk defects and can be removed
15A	Locust	10"		This tree is not in great shape and can be removed
16	Locust	dbl 20",18"		This tree has a split in te trunk and can be removed
17	Locust	18"		This tree is rotted at the base and should be removed
18	Locust	16"		This tree is in good health. The roots hold the slope
19	Locust	10"		This tree is in good health and can stay
20	Maple	21"		This tree is a locust that leans anD should be removed
21	Maple	10"		This tree has limited space to grow and is close to new driveway
22	Oak	12"		This tree leans and is too close to the driveway





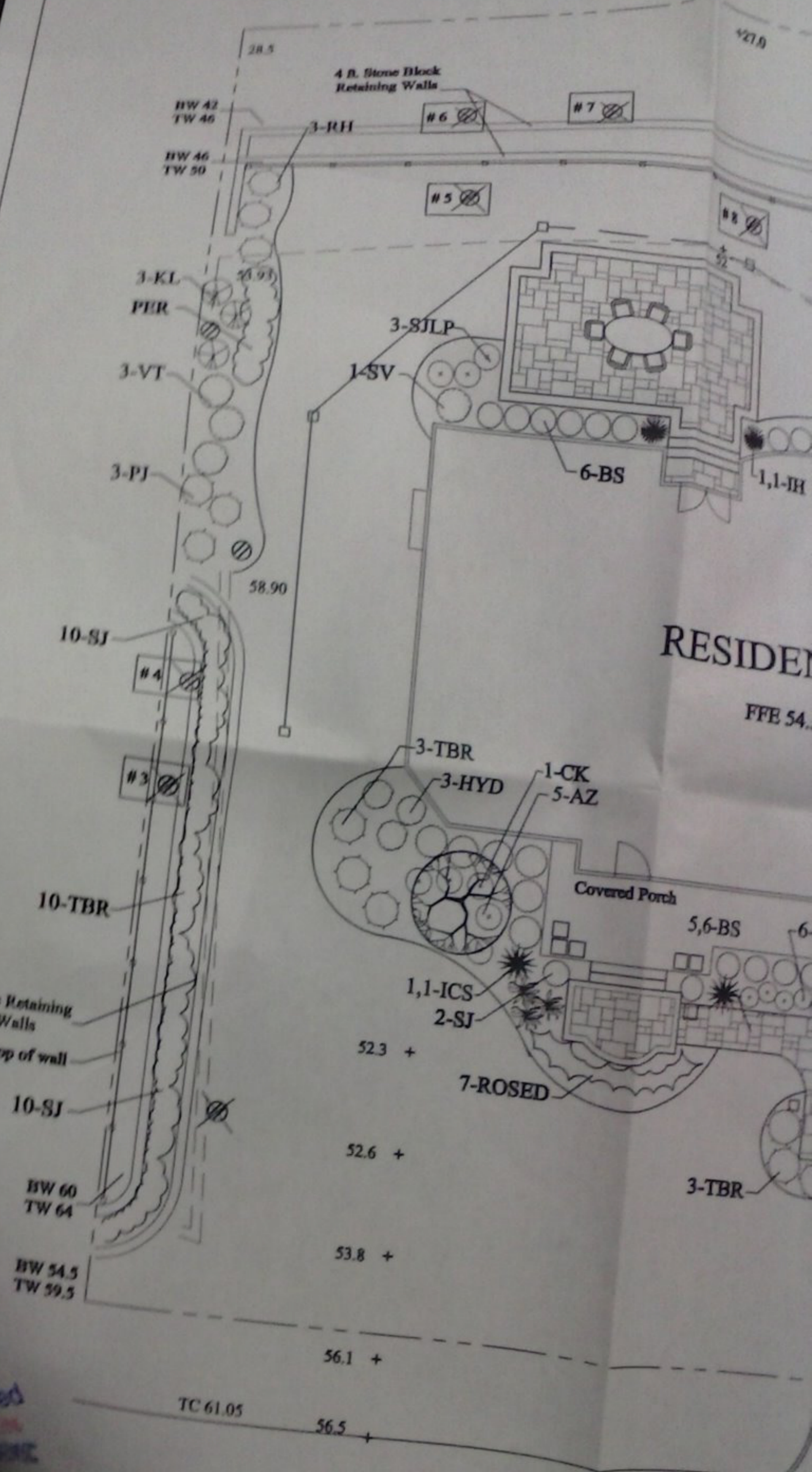
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GENERAL NOTES
 -This drawing is an instrument of service rendered to the client for the purpose of landscape development illustration only.
 -Where applicable (pools, decks, patios, fencing, tennis courts, etc.) property lines are to be staked out by a licensed surveyor before any construction begins. All proposed construction on plan must conform to setback requirements as measured from this stake out.
 -Subcontractors are to verify all field measurements and resolve any discrepancies before

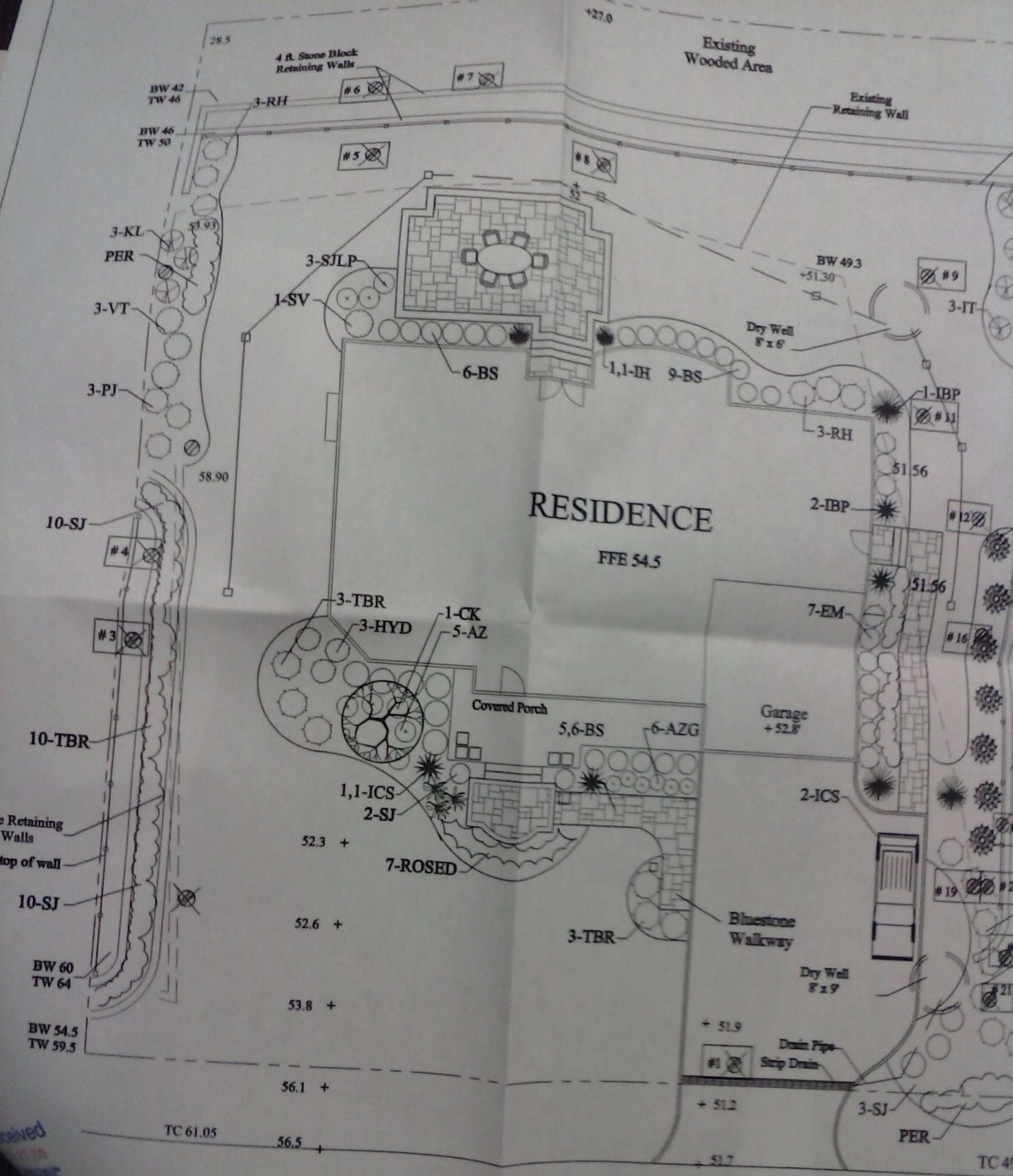
LANDSCAPE PLAN
THE PODUSZCZAK RESIDENCE
 180 REDWOOD DRIVE
 EAST HILL, NY
 Sec: 2 Blk. Lot: 21

50' (50')



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 All dimensions are in feet unless otherwise noted.

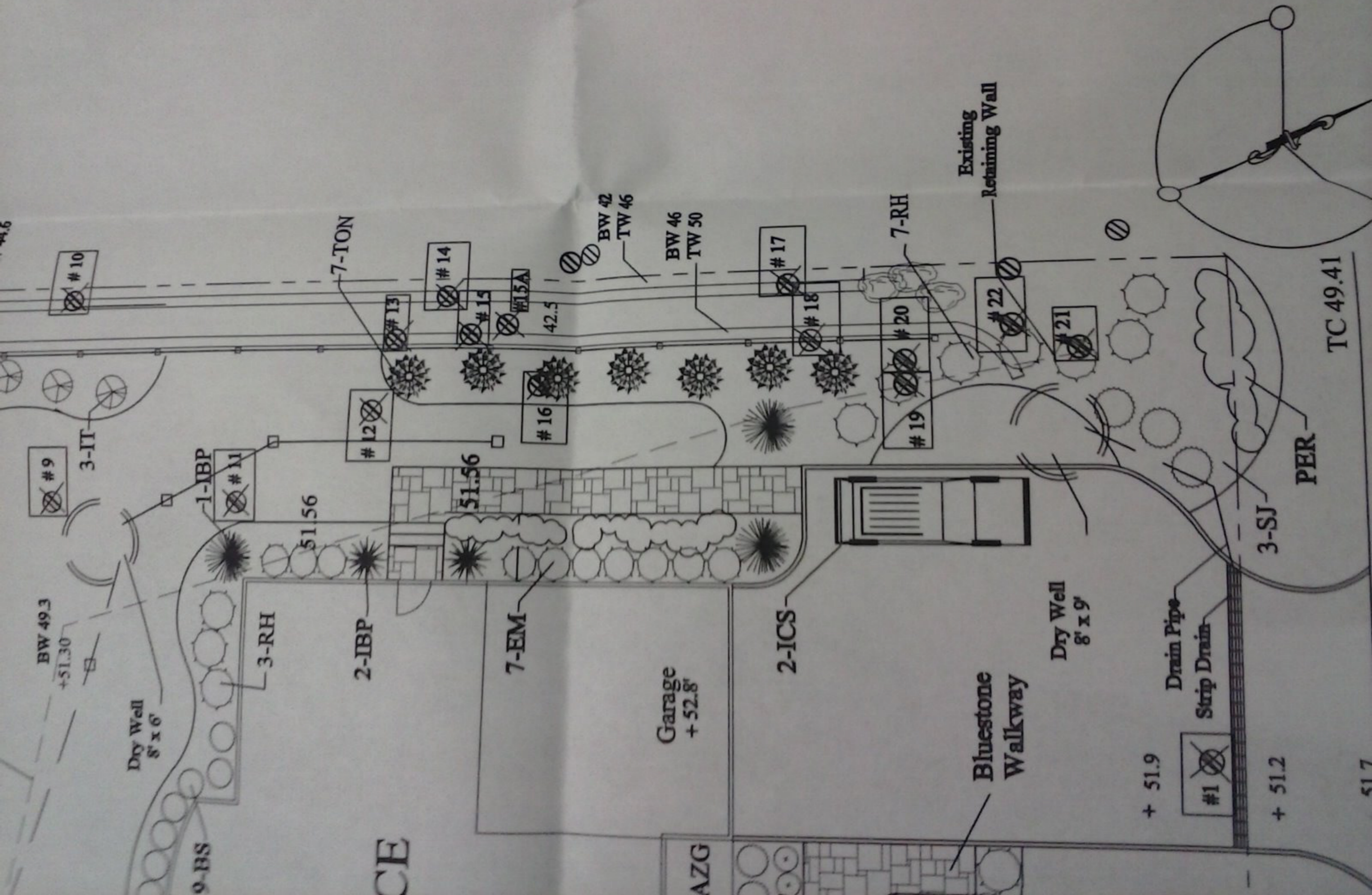
LANDSCAPE PLAN
THE PODUSZCZAK

UNSATURATED
IMPERVIOUS

NOTE:
1) ALL DRAINAGE
BE PROVIDED
2'-0" COVER

DRAINAGE
Prepared
Capacity
Eight foot

FRONT
Driveway
Front Walkway
Retaining Wall
Capacity
Dry Well
BACK
Side Walkway
Retaining Wall
Patio & Deck
Capacity
Dry Well



CE

AZG

517

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JUL 27 2016
Inc. Village of East Hills
209 Harbor Hill Rd
East Hills, NY 11578

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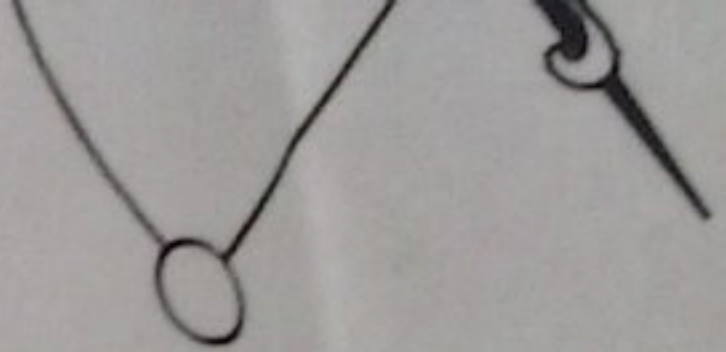
DESIGN • BUILD • SITE MANAGEMENT

141 OLD CEDAR SWAMP ROAD. JERICHO, NY 11753

(516) 681-5732 FAX (516) 681-1596 E-MAIL: LAND141@AOL.COM

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LANDSCAPE PLAN

THE PODUSZCZAK RESIDENCE

180 REDWOOD DRIVE

EAST HILL, NY

Sec: 2 Blk. Lot: 21

II	3	Itea virginica	Helleri Holly	3 gal.
KL	3	Kalmis latiolia	Sweetspire	3 gal.
PJ	3	Pieris japonica	Mt. Laurel	21-24"
RH	13	Rhododendren hybrid	Andromeda	25-3'
ROSED	7	Rosa x	Rhododendren variety	25-3'
SJ	5	Skimmia japonica	Drift Rose	2 gal.
SJLP	3	Spirea japonica	Japanese Skimmia	2 gal.
SV	1	Syringa vulgarus	Little Princess Spirea	3 gal.
TBR	6	Taxux baccata rependens	Common Lilac	3-4'
TON	7	Thuja occidentalis	English Spreading Yew	18-24"
VT	4	Vibumum l tomentosum	Nigra Arborvitae	4-5'
			Doublefile Virburnum	25-3'

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13	Locust	10"	
14	Locust	22"	
15	Locust	15"	
15A	Locust	10"	
16	Locust	dbl 20", 18"	
17	Locust	18"	
18	Locust	16"	
19	Locust	10"	
20	Maple	21"	
21	Maple	10"	
22	Oak	12"	